
Addendum No. 3

Partial Re-Roofing for Mendenhall Middle School
Guilford County Schools
Greensboro, NC
Andre Johnson Architect
Project No.: P1526.00

Project Phase – Bidding & Negotiation

Date: January 11, 2016

This Addendum issued prior to receipt of bids shall and does hereby become a part of the Drawings and Specifications for the above referenced Project.

All Prime Contractors shall be responsible for seeing that their Subcontractors are properly apprised of the contents of this Addendum.

All information contained in this Addendum shall supersede and shall take precedence over any conflicting information in the original Advertisement, Drawings and Specifications and earlier Addenda.

All Contractors shall acknowledge receipt of this Addendum in the space provided in the Bid Proposal Form.

The Contract Documents dated October 16, 2015 for the above referenced project, are hereby modified by the following items:

SPECIFICATIONS:

Addendum 3: Item No.1: Advertisement for Bids

Shall be modified as follows:

*“Sealed proposals will be received by the Guilford County School System until **3:00 PM, Thursday, January 14, 2016**, at 501 W. Washington Street, Greensboro, NC 27401, Room 100, and immediately thereafter publicly opened and read aloud, to furnish all materials and labor for the Partial roof replacement of the Mendenhall Middle School project. Upon arrival, please check-in at the front information desk for room location, sign-in, and to obtain a parking pass for your vehicle. Please allow sufficient time for this, as late bids will not be accepted.”*

Addendum 3: Item No.2: Section 07 5520 - SBS Modified Bitumen Roofing

Section 2.2 Mechanically Fastened Base Sheet shall be deleted from the specifications.

Addendum 3: Item No.3: Section 07 5520 - SBS Modified Bitumen Roofing

Section 3.7, Item B, shall be revised as follows:

"Base layer of 1-1/2" insulation shall be fully mopped. Subsequent layer of 1" insulation and tapered insulation (if indicated on the drawings) shall be applied by fully hot mopped asphalt to achieve required insulation thickness indicated in the drawings. All insulation installed per this specification section."

Addendum 3: Item No.4: Section 07 5520 - SBS Modified Bitumen Roofing

Section 3.8, Item A, shall be revised as follows:

"Install mechanically fastened red rosin paper base sheet with twin lock attachments".

Addendum 3: Item No.5: Section 07 5520 - SBS Modified Bitumen Roofing

Section 3.8, Item B, shall be revised as follows:

"Base layer of 1-1/2" insulation shall be fully mopped. Subsequent layer of 1" insulation and tapered insulation (if indicated on the drawings) shall be applied by fully hot mopped asphalt to achieve required insulation thickness indicated in the drawings. All insulation installed per this specification section."

Addendum 3: Item No.6: Section 07 5520 - SBS Modified Bitumen Roofing

Section 3.9, Item A, shall be revised as follows:

"Install mechanically fastened red rosin paper base sheet with twin lock attachments".

Addendum 3: Item No.7: Section 07 5520 - SBS Modified Bitumen Roofing

Section 3.9, Item B, shall be revised as follows:

"Base layer of 1-1/2" insulation shall be fully mopped. Subsequent layer of 1" insulation and tapered insulation (if indicated on the drawings) shall be applied by fully hot mopped asphalt to achieve required insulation thickness indicated in the drawings. All insulation installed per this specification section."

Addendum 3: Item No.8: Section 07 7100 – Roof Specialties

Section 2.5, Item B, Item 5 – Gutter Accessories shall be deleted from the specifications.

Addendum 3: Item No.9: Section 07 7100 – Roof Specialties

Section 2.1 shall be modified as follows:

"All roof edge aluminum fasciae shall have beveled gravel stop edge for all locations where gutters are not indicated to be installed or where existing gutters are to remain in place as indicated in the contract documents."

DRAWINGS:

Addendum 3: Item No.10:

Roof Area 6 as noted in the drawings on Sheet A-101 and A-102 shall be identified as Lightweight Concrete and not Full Strength Concrete.

Addendum 3: Item No.11: Sheet A-106

This sheet shall be replaced.

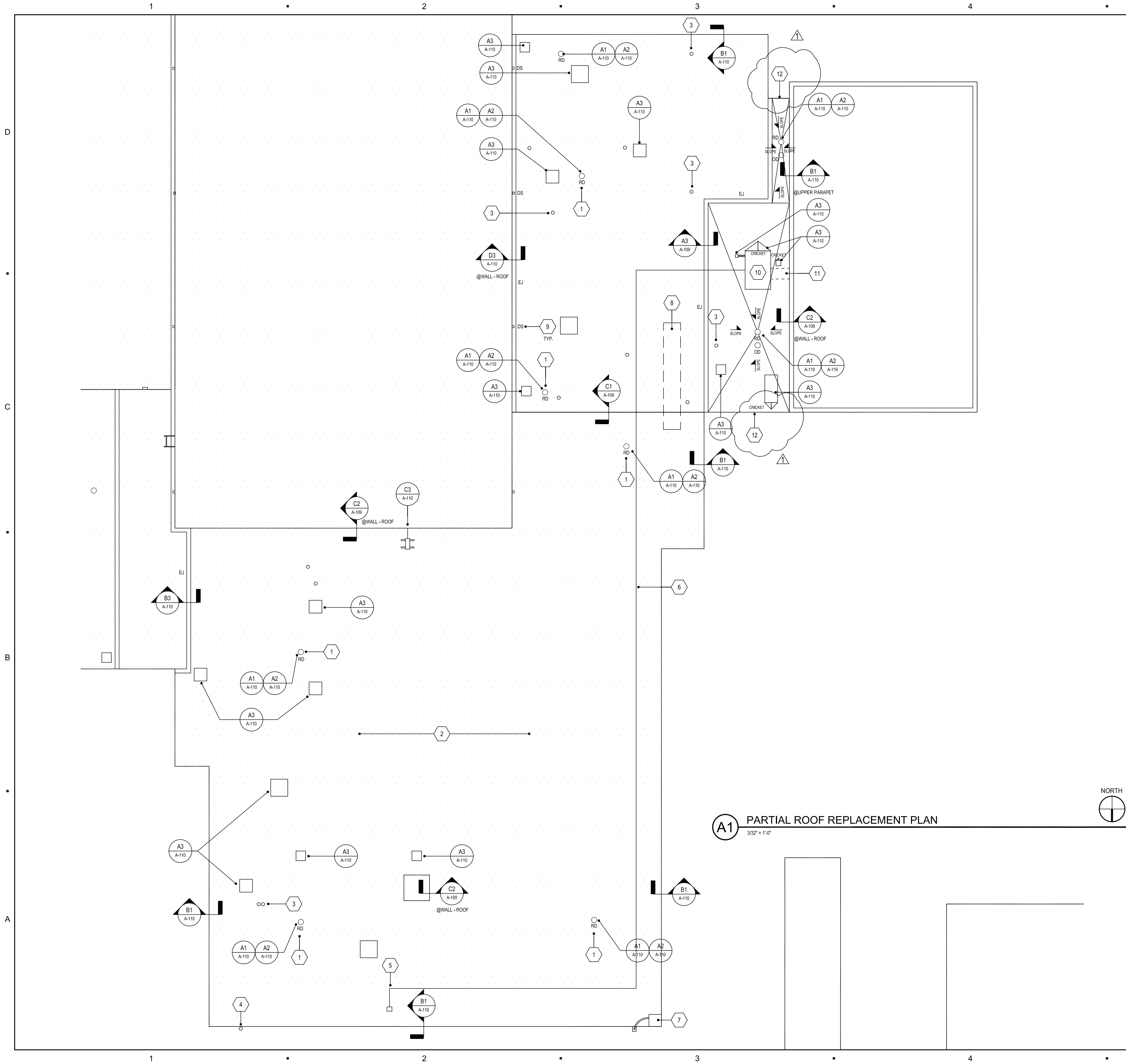
Addendum 3: Item No.12: Sheet A-110

This sheet shall be replaced.

Attachments:

Bidder's Questions
Sheet A-106
Sheet A-110

Prepared by: Andre L. Johnson, AIA, NCARB
Andre Johnson Architect



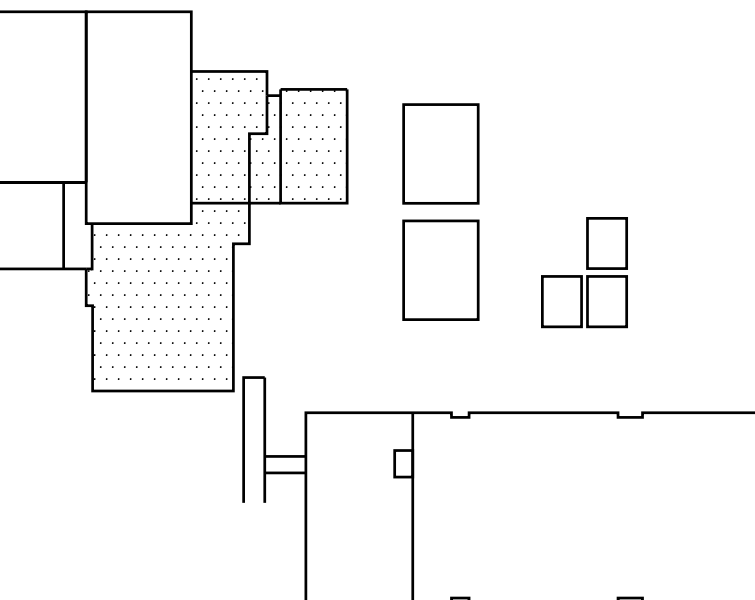
GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & PROMPTLY REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- ANY EQUIPMENT INDICATED ON THE ROOF PLAN IS FOR INFORMATION ONLY. THE GENERAL CONTRACTOR SHALL CONFIRM EXACT LOCATIONS OF ALL EXISTING ROOF TOP EQUIPMENT.
- ALL DIMENSIONS INDICATED SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR.
- REFER TO THE SPECIFICATIONS FOR THE MANUFACTURER REQUIREMENTS FOR ROOF INSTALLATION.
- IF INDICATED ON THE DRAWINGS, SPOT ELEVATIONS ARE SHOWN FOR REFERENCE FROM THE EXISTING SPOT ELEVATIONS. CONTRACTOR SHALL CONFIRM THE ELEVATIONS PER THE REQUIRED DETAILS ON SHEETS.
- IF INDICATED ON THE DRAWINGS, SPOT ELEVATIONS ARE ONLY INDICATED TO INDICATE TO CONTRACTOR CHANGES IN ROOF CONSTRUCTION AND TO IDENTIFY THE SLOPES REQUIRED FOR CONSTRUCTION OF THE NEW ROOFING SYSTEM.
- IF INDICATED ON THE DRAWINGS, SPOT ELEVATIONS ARE NOT EXACT.
- IF INDICATED ON THE DRAWINGS, RIDGE INDICATES HIGH POINT OF ROOF THAT IS EQUAL TO THE MAXIMUM HEIGHT OF ROOF SYSTEM WITH RIGID INSULATION.
- IF INDICATED ON THE DRAWINGS, EXISTING ROOF DRAIN STRAINERS SHALL BE SALVAGED FOR REUSE. CONTRACTOR TO TAKE ADDITIONAL CARE NOT TO DAMAGE EXISTING STRAINERS.

SHEET KEYNOTES

- CREATE WIDER SUMP AREA AROUND ROOF DRAIN T HELP WITH WATER FLOW.
- EXISTING ROOF SLOPE SHALL BE MAINTAINED.
- EXISTING PIPE PENETRATION. NOTE THAT ALL PIPES MAY NOT BE INDICATED ON THIS ROOF PLAN. CONTRACTOR TO CONFIRM THE AMOUNT OF PIPE PENETRATIONS PRIOR TO BIDDING.
- EXISTING CONDUIT AND JUNCTION BOX TO REMAIN.
- GAS CONNECTION AND CONDUIT TO REMAIN. DO NOT DISRUPT SERVICE UNLESS APPROVED IN WRITING BY OWNER.
- GAS LINE TO REMAIN.
- EXISTING LIGHT, JUNCTION BOX AND CONDUIT TO REMAIN. CONTRACTOR SHALL NOT DAMAGE EXISTING ITEMS TO REMAIN AND SHALL REPLACE ANY ITEMS DAMAGED DURING CONSTRUCTION.
- EXISTING LADDER TO BE REINSTALLED BY CONTRACTOR ONCE ROOF REPLACEMENT IS COMPLETE.
- EXISTING SPLASH BLOCKS TO BE REUSED AT EACH DOWNSPOUT.
- EXISTING ROOF TOP MECHANICAL UNIT TO REMAIN.
- EXISTING DUCTWORK TO REMAIN. CONTRACTOR SHALL NOT DAMAGE OR DISCONNECT SERVICE.
- REPLACE EXISTING COPING WITH NEW COPING TO MATCH COPING PROFILE AND DIMENSIONS. COLOR OF REPLACEMENT COPING SHALL MATCH THE EXISTING COPING. CONTRACTOR TO PROVIDE COLOR CHART FOR ARCHITECT FINAL SELECTION.

KEY PLAN



CLIENT AND PROJECT



GUILFORD COUNTY SCHOOLS

PARTIAL ROOF REPLACEMENT MENDENHALL MIDDLE SCHOOL

205 Willoughby Boulevard
Greensboro, North Carolina 27408

DESIGNER



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PROFESSIONAL REGISTRATION



12-31-15

KEY PLAN

ISSUE

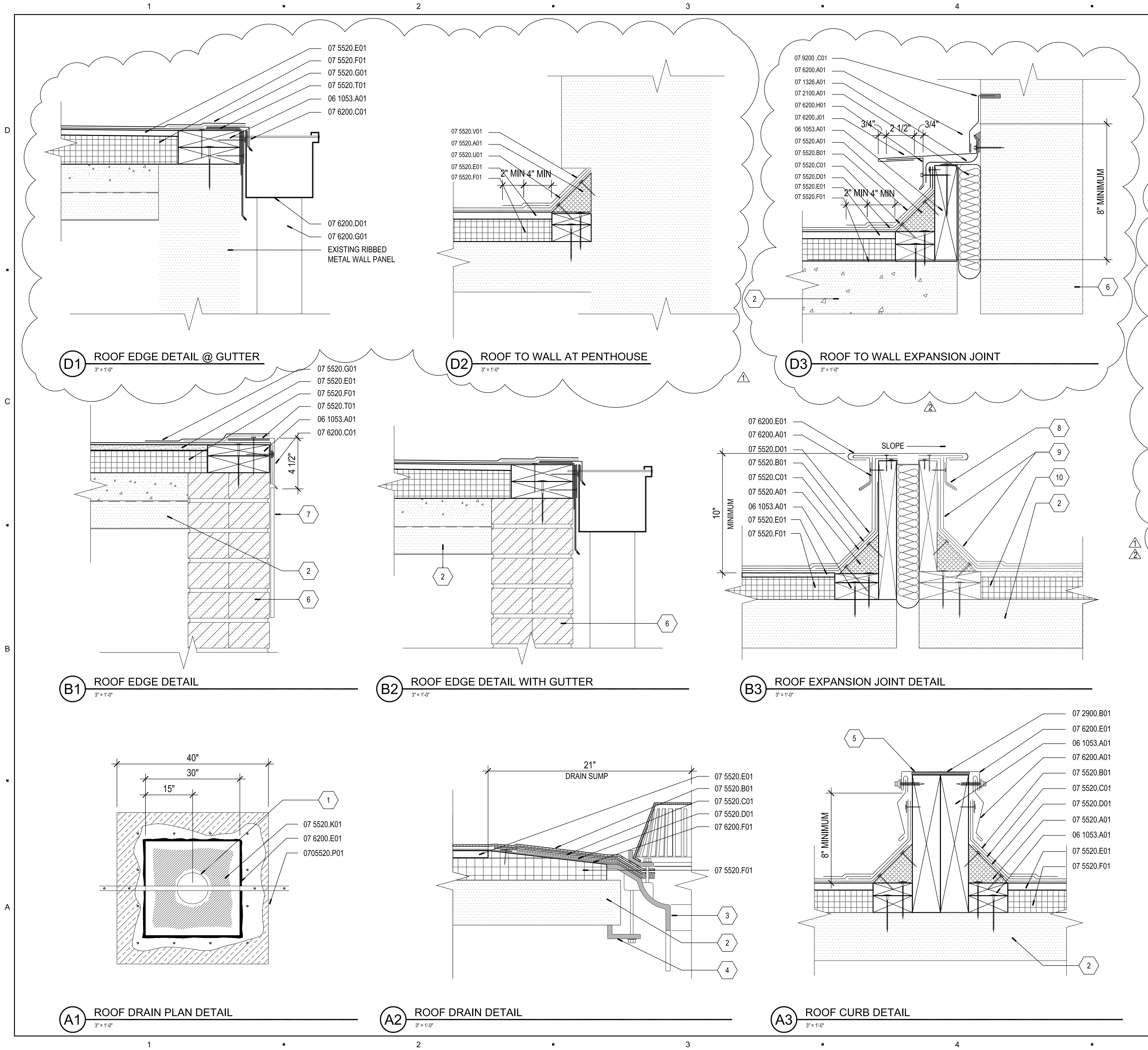
MARK	DATE	DESCRIPTION
△	1/12/16	ADDENDUM NO. 3

PROJECT NO: P1526.00
DRAWN BY: ALJ
CHECKED BY: ALJ QA BY: CMJ
SCALE: AS INDICATED
DATE: OCTOBER 16, 2015

SHEET TITLE

PARTIAL ROOF REPLACEMENT PLAN

A-106



GENERAL NOTES

- ALL ROOF SLOPES INDICATED FOR SBS MODIFIED BITUMEN ROOF SYSTEMS SHALL BE 1/4" PER FOOT U.N.O.
- THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & PROMPTLY REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- EXISTING CONSTRUCTION TO REMAIN SHALL BE PROTECTED TO PREVENT DAMAGE.
- ALL DIMENSIONS INDICATED SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR.
- REFER TO THE SPECIFICATIONS FOR THE MANUFACTURER REQUIREMENTS FOR SPECIFIC ELEMENTS OF THE ROOF SYSTEM FOR INSTALLATION.
- ALL ROOFING SYSTEM MATERIALS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL INFORM ARCHITECT OF ANY DISCREPANCIES IN DESIGN INTENT AND ACTUAL FIELD CONDITIONS.

REFERENCE KEYNOTES

DIVISION 06 - WOOD AND PLASTIC

06 1053.A01 PRESSURE TREATED WOOD BLOCKING SIZE AS INDICATED

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

07 2100.A01 LOOSE FILL INSULATION IN POLYETHYLENE SADDLE
07 5520.A01 SPECIFIED CANT STRIP (OPTION 1)
07 5520.B01 MODIFIED BITUMEN FLASHING MEMBRANE
07 5520.C01 MODIFIED BITUMEN FLASHING REINFORCEMENT MEMBRANE
07 5520.D01 CAP PLY SHEET
07 5520.E01 1/2" GYPSUM COVERBOARD
07 5520.F01 RIGID INSULATION; THICKNESS PER SPECIFICATIONS.
07 5520.G01 SPECIFIED 2 PLY SBS MODIFIED BITUMEN ROOF SYSTEM
07 5520.H01 FLASHING CEMENT
07 5520.I01 FLASHING COLLAR
07 5520.K01 ROOF MEMBRANE PRIME LEAD
07 5520.L01 BEAD OF MELTED MODIFIED BITUMEN
07 5520.M01 QUICK SETTING NON SHRINK CONCRETE
07 5520.N01 ONE PART POURABLE SEALER
07 5520.P01 CAP MEMBRANE PLY
07 5520.Q01 ROOF MEMBRANE MANUFACTURER'S RECOMMENDED BOND BREAKER
07 5520.R01 SPECIFIED ROOF EXPANSION MEMBRANE
07 5520.S01 ROOF MANUFACTURER'S RECOMMENDED SUPPORT SHEET FOR EXPANSION JOINT MEMBRANE.
07 5520.T01 INTERPLY
07 5520.U01 SBS MODIFIED BASE PLY SHEET NAILED OFF
07 5520.V01 SPECIFIED LIQUID FLASHING INSTALLED OVER ENTIRE AREA AND EXTENDING OUT AS SHOWN TO MEET MANUFACTURER'S REQUIREMENT FOR 20 YEAR WARRANTY.
07 6200.A01 METAL COUNTER FLASHING
07 6200.B01 FORMED ALUMINUM SHEET METAL FASCIA
07 6200.C01 FORMED ALUMINUM SHEET METAL FASCIA FLASHING AND CONNECTION
07 6200.D01 6" X 6" ALUMINUM GUTTER
07 6200.E01 METAL FLASHING
07 6200.F01 COPPER FLASHING SET IN MASTIC WITH PRIMED TOP
07 6200.G01 6"X6" ALUMINUM DOWNSPOUT
07 6200.H01 CONTINUOUS METAL CLIP FASTENED WITH NEOPRENE WASHERED FASTENERS AT 12" O.C.
07 6200.J01 METAL FLASHING CAP SLOPED AT 1/8" AWAY FROM WALL
07 9200.A01 CONTINUOUS SEALANT
07 9200.B01 FULL BED OF SEALANT UNDER FLASHING
07 9200.C01 COUNTER FLASHING SET IN FULL SEALANT, SAW CUT BRICK MORTAR JOINT TO DEPTH TO ALLOW FOR FLASHING TO INSET AND BE SECURE

SHEET KEYNOTES

- EXISTING ROOF DRAIN ASSEMBLY AND PIPING TO REMAIN.
- EXISTING ROOF STRUCTURE TO REMAIN. EXISTING ROOF STRUCTURE VARIES FOR THE DIFFERENT ROOF SECTIONS. ONCE EXISTING ROOF SYSTEM IS REMOVED, THE CONTRACTOR SHALL ASSESS THE STATE OF THE EXISTING ROOF SUBSTRATE AND INFORM THE ARCHITECT AND OWNER IN WRITING OF ANY AREAS OF ROOF SUBSTRATE UNSUITABLE FOR CONSTRUCTION.
- EXISTING ROOF DRAIN ASSEMBLY AND PIPING.
- EXISTING ROOF DRAIN CLAMP AND ASSEMBLY. ROOF INSULATION IS INCREASED AND THEREFORE CLAMP AND ASSEMBLY WILL NEED TO BE ADJUSTED AS REQUIRED.
- FULL BED OF SEALANT UNDER FLASHING.
- EXISTING WALL CONSTRUCTION. WALL CONSTRUCTION VARIES.
- EXISTING BLUE METAL FASCIA TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE WHEN PERFORMING THE SCOPE OF WORK.
- EXISTING COUNTER FLASHING TO REMAIN.
- EXISTING ROOF SYSTEM TO REMAIN.
- EXISTING ROOF INSULATION AND COVER BOARD TO REMAIN.

DETAIL LEGEND

EXISTING MATERIAL INDICATED SHALL NOT BE DEMOLISHED.

CLIENT AND PROJECT



GUILFORD COUNTY SCHOOLS

PARTIAL ROOF REPLACEMENT MENDENHALL MIDDLE SCHOOL

205 Willoughby Boulevard
Greensboro, North Carolina 27408

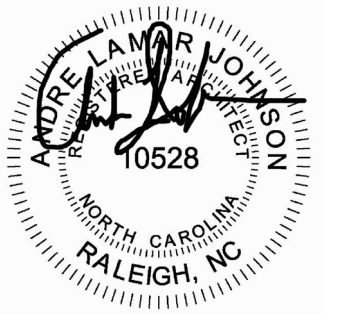
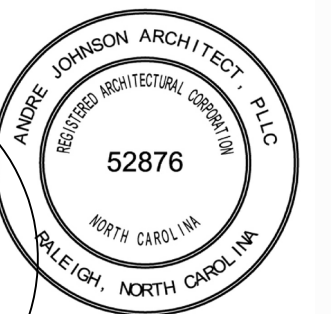
DESIGNER



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PROFESSIONAL REGISTRATION



12-31-15

KEY PLAN

ISSUE

MARK	DATE	DESCRIPTION
△	12/31/15	ADDENDUM NO. 2
△	1/12/16	ADDENDUM NO. 3

PROJECT NO: P1526.00
DRAWN BY: ALJ
CHECKED BY: ALJ QA BY: CMJ
SCALE: AS INDICATED
DATE: OCTOBER 16, 2015

SHEET TITLE

ROOF DETAILS

A-110



Bid Questions
Partial Re-Roofing for Mendenhall Middle School
Guilford County Schools

Project No: P1526

No.	Received	From	Question	Response	Addendum
1	1/4/2016	Joey Tillman Triad Roofing	In Addendum number 2, the system specified is installed with a mopped base and a torch applied cap sheet. Just to be clear, a mopped cap sheet will or will NOT be accepted?	Please refer to Addendum No. 2 for the answer to this question	3
2	1/4/2016	Joey Tillman Triad Roofing	Quick comment. Some of the square footage you notate on drawings and addendum are much different than what I have measured. I would suggest a note to all contractors that they are responsible for their own measurements.	The note you suggested is already indicated in the drawing set. See sheets A-101, A-102	3
3	1/5/2016	Brady Knowles Owens Roofing	Is tapered only supposed to be on roof 11? I see that is stated in the specs but could you please clarify this and also the insulation thickness for all other roof areas. I thought that everywhere else was supposed to get flat insulation but section 07 5520 SBS Modified Bitumen Roofing paragraph 3.7, 3.8 and 3.9 contradict this. Could yo please clarify this and specify what roof gets what insulation and specific thicknesses and/or R-value/	Tapered insulation is only on roof area 11 as shown in drawings. We have clarified the sections referenced in your question to make the specifications even more clear as to the scope of work. The required R value is already listed in the sections that you referenced in your question.	3
4	1/5/2016	Brady Knowles Owens Roofing	The same paragraphs from question 1 state to mechanically fasten the base sheet. Addendum 2 stated we could hot mop the base sheet. Is that still the case?	The tectum and lightweight concrete deck areas need to have a mechanically fastened red rosin paper base sheet. Section 2.2 in 07 5520 is deleted from the specifications.	3
5	1/5/2016	Brady Knowles Owens Roofing	Is Detail D2-A110 to prevent from having to cut off a portion at the bottom of the metal panels around the penthouses or are we going to be required to cut off a portion of the panels?	Detail shall be as shown on D2/A110. The existing standing seam metall wall panels are not to be modified.	3
6	1/5/2016	Brady Knowles Owens Roofing	Are we to replace all wood blocking/nailers as shown in the drawings or will there be an allowance?	Please refer to the contract documents for the scope of work of demolition of existing wood blocking and nailers. All existing blocking and nailer to be demolished.	3
7	1/6/2016	Brady Knowles Owens Roofing	I left of one question I meant to ask yesterday. Is the leaf guard required for the gutters? It is stated in the specs but I remember from a previous project it was not required.	Leaf guard will not be required, see Addendum No. 3 for more information.	3
8	1/7/2016	Terry Glidewell Greensboro Roofing	I left of one question I meant to ask yesterday. Is the leaf guard required for the gutters? It is stated in the specs but I remember from a previous project it was not required.	Leaf guard will not be required, see Addendum No. 3 for more information	3
9	1/7/2016	Terry Glidewell Greensboro Roofing	Wanted to be sure I understand the roof configuration for this project: Nail a base sheet on lightweight and tectum decks, Install a base sheet (vaporbarrier) on ALL roof areas, Install one layer of R 14.0 (2.5" ISO) and overlay with ½" "HD" fiberboard in moppings of asphalt. (Penthouses and one roof area get full tapered ISO system with R 14.0 minimum and ¼" slope), Roof system to be one ply mopped SBS base sheet and one ply Torched granulated FIRE RATED cap sheet, All edge metal to be .050 aluminum color to match adjacent edge metals that are NOT disturbed. Is this correct?	Please refer to Addendum No. 3. Please note that the vapor barrier has been removed from the specifications. The metal edge shall be as shown in drawings and specifications.	3
10	1/7/2016	Terry Glidewell Greensboro Roofing	<ul style="list-style-type: none">• The exist edge metal is mill finish aluminum. A lot of the areas have a blue fascia under the aluminum edge metal. Do you want the edge metal to be blue or mill finish? The specs say to match the other areas? I would also recommend a bevel edge strip be Installed at all of the edge metal where there is not gutter to prevent water running over the edge and this will also prevent water standing on the edge metal which will cause leaks eventually.• The curb to wall exp. Joint at the gym roof is copper. The thru wall flashing in the wall is copper as well. You call for the exp jt. to be aluminum. Over time, water running over this thru wall flashing onto the aluminum will deteriorate the aluminum. I would recommend this exp. Jt. Be changed to copper to prevent electrolysis from occurring.	All fascias will be as specified in 077100 2.1 for metal edge trim, etc., this applies for copings as well. Note that the blue fascia is to be deomlished as well in the scope of work. We accept your recommendation for the bevel edge strip. The roof expansion joint at the gym will be removed. We will reinstall a new expansion joint. Please see the revised sheet A-110.	3
11	1/8/2016	Joey Tillman Triad Roofing	Do you plan to post the questions that met the question deadline for Mendenhall Middle School?	Yes	3



Bid Questions
Partial Re-Roofing for Mendenhall Middle School
Guilford County Schools

Project No: P1526

No.	Received	From	Question	Response	Addendum
12	1/8/2016	Brady Knowles Owens Roofing	Will there be an Addendum 3 for the Mendenhall Middle School Roof Replacement Project?	Yes	3
13	1/8/2016	Brady Knowles Owens Roofing	Roof Area 11 has coping in lieu of gravel stop metal edge fascia, what do we put back with the new roof, coping or fascia?	For the roof edge at Roof Area 11, the roof shall have a metal coping to match the color of the existing adjacent blue copings and fascias.	3